

VILLAGE OF HARRISON HOT SPRINGS
NOTICE OF MEETING



<p>ADVISORY PLANNING COMMISSION MEETING</p>

DATE: Tuesday, August 16, 2011
TIME: 2:00 p.m.
LOCATION: Council Chambers, Harrison Hot Springs, British Columbia

1. CALL TO ORDER		
	(a)	Meeting called to order by the Chair
2. LATE ITEMS		
	(a)	
3. ADOPTION OF MINUTES		
	(a)	Minutes of the June 21, 2011 meeting
4. DELEGATIONS/PETITIONS		
	(a)	None
5. CHAIRPERSON REPORT		
	(a)	None
6. ITEMS FOR DISCUSSION		
	(a)	Design Guidelines
	(b)	Planning Area 1
7. ADJOURNMENT		

VILLAGE OF HARRISON HOT SPRINGS
ADVISORY PLANNING COMMISSION MEETING

DATE: June 21, 2011
TIME: 9:00 a.m.
PLACE: Council Chambers

IN ATTENDANCE: Leo Facio (Chair)
Councillor, Allan Jackson
Alan Birtch
Marg Doman
Ted Tisdale, Chief Administrative Officer
Brian Bignell
Harvey Ruggles
Andre Isakov, CEDO

Recording Secretary, K. Sobie

ABSENT:
Michael Rosen, Planning Consultant
Raymond Hooper
Lorne Lees (Deputy Chair)

1. CALL TO ORDER

The Chair called the meeting to order at 9:00 a.m.

2. LATE ITEMS

3. ADOPTION OF MINUTES

□APC minutes of
February 15, 2011

Moved by Marg Doman
Seconded by Harvey Ruggles

THAT the minutes of the Advisory Planning Commission meeting of
February 15, 2011 be adopted.

CARRIED

4. DELEGATIONS/PETITIONS

None

5. CHAIRPERSON REPORT

None

VILLAGE OF HARRISON HOT SPRINGS
MINUTES OF THE ADVISORY PLANNING COMMISSION MEETING

June 21, 2011

PAGE (2)

6. ITEMS FOR DISCUSSION

Planning Area One/
Juneau Property

Discussion of Juneau's plans went around the table. It was mentioned that look of the building was very uniform and some diversity would be nice. It was noted that to proceed with the plans an OCP amendment will be needed.

Report of Planning
Consultant – Rezoning
Application Kingma

Discussion of the access point to Campbell Lake Trail went around the table. At this time the APC agrees with what happened at the Council meeting and look forward to the next steps.

7. ADJOURNMENT

Moved by Harvery Ruggles
Seconded by Marg Doman

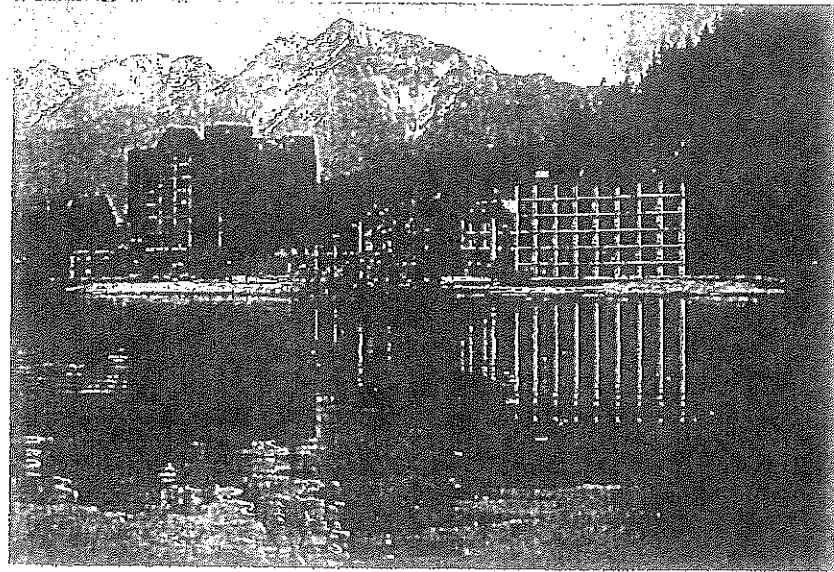
THAT the meeting be adjourned at 9:45 a.m.

CARRIED

Leo Facio
Chair

Krystal Sobie
Recording Secretary

SCHEDULE 1-D - DESIGN GUIDELINES



Village of Harrison Hot Springs

DESIGN GUIDELINES

FINAL DRAFT

April 1997

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LIST OF ATTACHMENTS

Attachment 1 View Preservation Strategy

Attachment 2 Development Permit Review Checklist

BACKGROUND & INTENT

SECTION 1

1.1 Background

◦ *Policy Framework and Issues*

◦ *Official Community Plan*

The Village's Official Community Plan Bylaw No. 622 (OCP) provides general policy direction for land use and development in the Village. The OCP sets out the land use designations and the areas where Development Permits are required for new development. Development Permit Areas in the OCP include the Lakeshore Special Planning Area, Commercial and Hazardous Areas. General guidelines for the form and character of new development are provided in the OCP for the Development Permit review process.

The OCP identified the need to provide more detailed design guidelines to maintain the quality of new development in accordance with the vision defined in the plan. The detailed design guidelines contained in this document are incorporated into the OCP and form part of the implementation of the Village OCP policy directions.

◦ *Zoning By-Law*

The Village's Zoning Bylaw No. 672-1996 includes regulations for land use and sets out zoning categories for parcels. The Zoning Bylaw, like the design guidelines, is used to implement the broad directions of the OCP. The Zoning Bylaw regulations may be further refined through application of the design guidelines to the Development Review process.

◦ *Overview of the Guideline Preparation Process*

◦ *Preparation of Draft Guidelines*

Draft guidelines reflected the project terms of reference, input from the Village Council, study of Harrison's existing character, and reference to the Official Community Plan.

◦ *Public Open House*

Panels were prepared to summarize guideline principles for discussion at the public open house held on March 5, 1997. Approximately 40 people attended and provided input.

◦ *Guideline Refinement*

Guidelines were refined based on the open house and further direction from Council.

◦ *OCP Amendment*

The guideline package is made available for public review prior to its formal adoption.

1.2 Intent

The primary intent of these design guidelines is to ensure that development in Harrison Hot Springs contributes positively to the character of the Village. There is a need to define a set of standards that can be referred to by all parties involved in development, including:

- Village staff
- Business owners or residents interested in renovating existing buildings
- Prospective developers
- Design professionals
- The general public as stakeholders in their community's development

It is hoped that the availability of a common basis for planning and design decisions will take the guesswork out of both proposal preparation and review.

Most importantly, it is intended that these guidelines will contribute to a coherence and integrity in the form, character and detailing of the Village's public face.

1.3 The Guideline Package

The guidelines provide detailed design direction in the following areas:

ARCHITECTURE

- Building Height, Form & Massing
- Rooflines and Roofs
- Orientation & Relationship to Streetscape
- Entrances
- Materials
- Detailing

SITE PLANNING

- Building Setbacks
- Streetscape / Landscape
- Parking

SIGNAGE

- Size & Mounting Options
- Materials
- Graphics & Style

To assist with evaluation of development proposals, a review checklist is provided as Attachment 1. Guidelines need to be consulted for detailed evaluation of proposals, but the checklist provides a clear, useful summary of guidelines and review comments to forward to applicants.

VISION & OBJECTIVES SECTION 2

2.1 A Vision for Harrison Hot Springs

Harrison Hot Springs seeks to retain a "small Village" character within its spectacular natural setting, while welcoming and managing high quality development. Development must reinforce the community's balanced identity as both a lakefront resort to visitors and a place that residents can call home.

2.2 Objectives

- *To provide clear descriptions and illustrated examples that will direct the form, character and quality of future development in Harrison Hot Springs;*
- *To protect and enhance visual connections between the Village and Harrison Lake.*
- *To define development requirements, in terms of both process and physical form, to maintain and strengthen functional linkages between the Village and its lakefront.*
- *To describe means of establishing or improving the relationship between buildings and streetscapes;*
- *To determine a set of preferred architectural and site design treatments for new and retrofit development, reflecting in particular the sensitive, high quality character of the Harrison Hot Springs Hotel as well as aspects of other successful architecture in the Village;*
- *To enrich the pedestrian realm through supportive building edges and furnishings as well as landscaping and other streetscape detailing;*

DESIGN GUIDELINES

SECTION 3

*3.1 DEVELOPMENT PERMIT AREA 1
LAKESHORE SPECIAL PLANNING AREA*

3.1.1 Design Principles

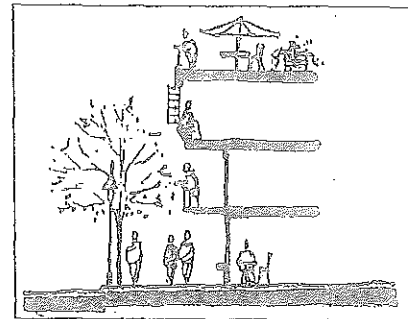
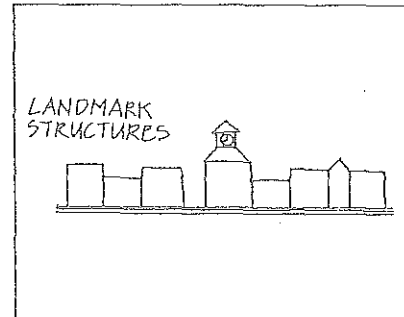
- ❖ Architecture responsive to the medium density mixed-use village context, and integrated with neighbouring buildings of various ages;
- ❖ Site planning based on creating continuous street-oriented edges and intensifying pedestrian activity within the Lakeshore Special Planning Area;
- ❖ Protection of view corridors within the village towards Harrison Lake and the surrounding mountains.
- ❖ Respect for the natural setting which should continue to dominate along the lakeshore;
- ❖ Variation on themes to result in a balance between continuity and a healthy diversity, both within a commercial, residential or mixed-use development and throughout the village.

3.1.2 Design Guidelines

ARCHITECTURE

Building Height

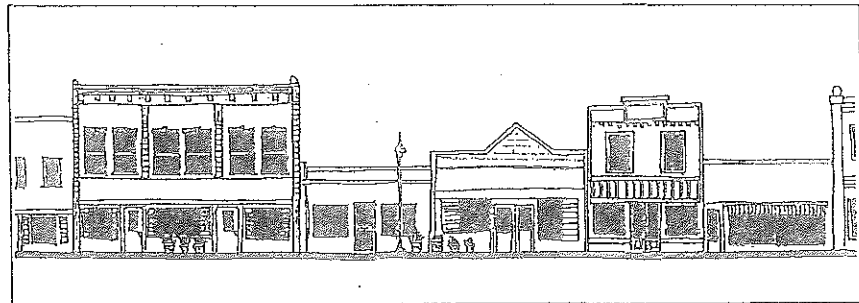
- A maximum height of 4 storeys is recommended within the Lakeshore Special Planning Area, with exceptions being made for small portions of buildings with landmark value (up to 6 storeys permitted, preferably close to the village edges near the base of the mountains).



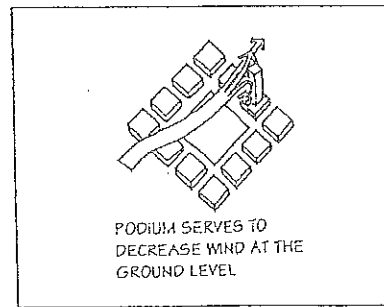
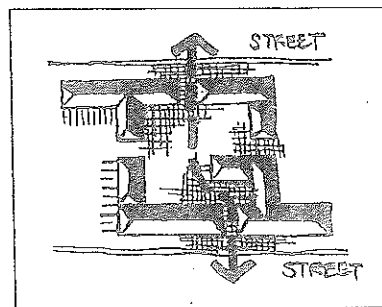
- Along Esplanade Avenue, a 2 storey facade is most appropriate as a general rule; 3rd floors should be stepped back from the street edge to preserve a small-scale feel for pedestrians, and 4th floors should be avoided except as architectural punctuations. Variety is more important than actual heights!
- Where applicable, a view analysis and accurate rendering of the proposed development in its real context may be required to ensure that new development does not unreasonably block visual connections to the lake. Viewing angles and distances will be determined by Council. Refer to Attachment 1, View Preservation Strategy.
- Where applicable, a sun/shade impact study may be required to prevent unwelcome shading of public or private uses.

Building Form and Massing

- Continuous facades are preferred...infill development is encouraged.
- Variation is the most critical characteristic, in terms of heights, facade relief, step-backs, colour, detailing, all of which should contribute to a traditional village character.
- Even if a single developer is responsible for a whole block, smaller architectural units should be apparent to prevent a homogeneous appearance.



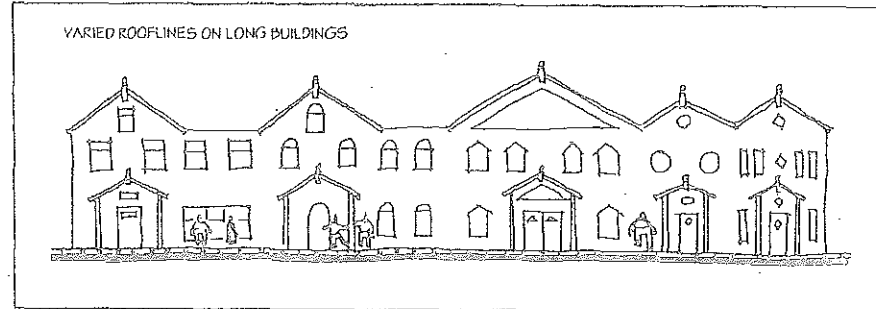
- Multiple narrow units are preferred for both commercial and residential development.
- Buildings should not occupy whole blocks...access between parallel streets through public walkways and courtyards within blocks is strongly encouraged, and is seen as an opportunity to create more ground-access commercial and residential frontage. At least one midblock connection is required for each block, and a token gesture "tunnel" effect is not acceptable.



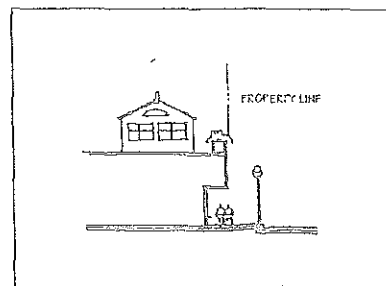
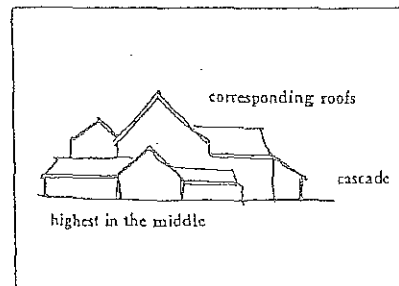
- Access to courtyards may be through gateways within facades which are continuous at the 2nd floor level.
- Care should be taken not to create wind tunnels.

Rooflines & Roofs

- Pitched roofs are preferable to flat roofs. Specifically, roof types and configurations could be reflective of the rural, lakefront context of the village. Sloping roofs are more compatible with the mountainous setting and people's associations of traditional architecture with such scenery.



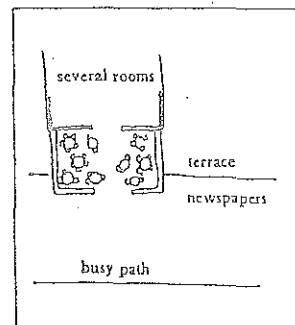
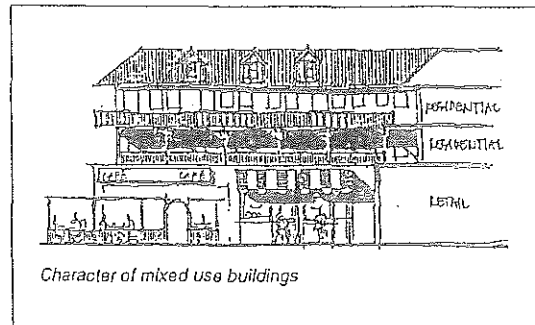
- Flat rooflines may be used in combination with peaked profiles, but flat sections shouldn't extend unbroken for more than 15 metres.
- Roofs of taller architectural units shall be sensitively designed in view of their potential as highly visible landmarks.
- A "cascade" effect of top floor and intermediate roofs down to awnings and canopies at the ground floor level is encouraged to add interest for the full height of the facade. This could reflect the style of the covered walkway in the Hotel courtyard.
- Rooftop mechanical equipment should be screened or housed in enclosures integrated with the architecture of the building.



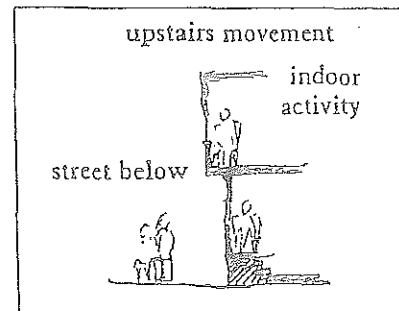
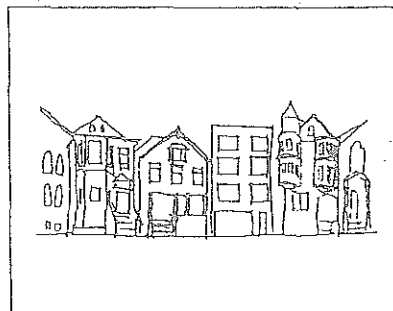
- Wood-shingled roofs, such as those found on older buildings within the village, are encouraged, but appropriately coloured asphalt shingles or metal roofing are also acceptable (such as that used for the Hotel).

Orientation & Relationship to Streetscape

- While it is natural for buildings to be oriented towards the lake, those structures located behind Esplanade Avenue must also address streets, especially at the ground floor. No face of a building should be significantly less detailed or finished than the front.
- Wherever possible, especially along Esplanade Avenue, interior uses should relate to, and be visible from, the sidewalks. Restaurant patios are an ideal example, but any configuration that facilitates interaction between inside and outside activities is encouraged.

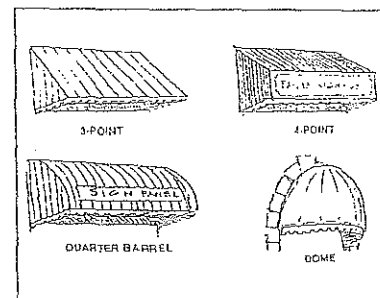
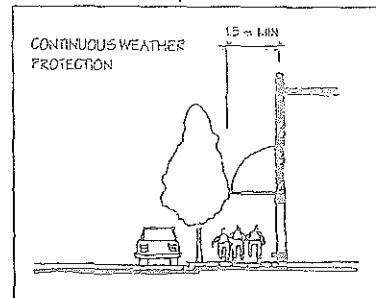


- Public-oriented ground floor uses are preferred over those that require privacy (and thus result in blank, "unfriendly" facades).
- Facades along streets used by pedestrians should incorporate lots of windows, even if blinds and curtains are used in some of them.
- Generous decks, balconies, and opening windows on second and third floors are encouraged to make residents feel they are part of the life of the street, and to make the public spaces both safer (through natural surveillance) and more lively.



- Walls and fences, especially those above 1.0 metres in height, are discouraged along sidewalks in the Lakeshore Area, unless adjacent uses are visually undesirable.

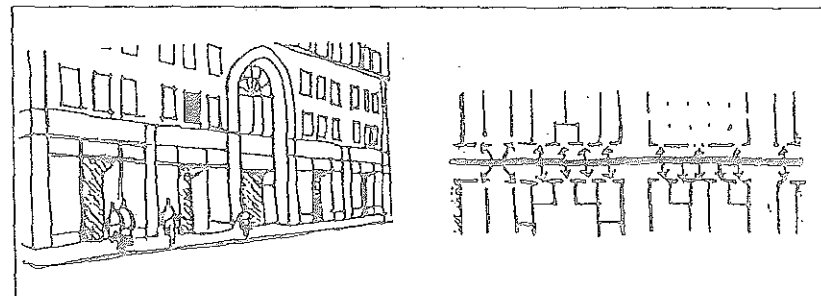
- Canopies / awnings may be continuous (but not necessarily uniform in style or detailing) where compatible with facades; extent may be 1.5 metres out over the sidewalk.



- Edges of buildings along sidewalks should be designed to support use (sitting, leaning, etc.).

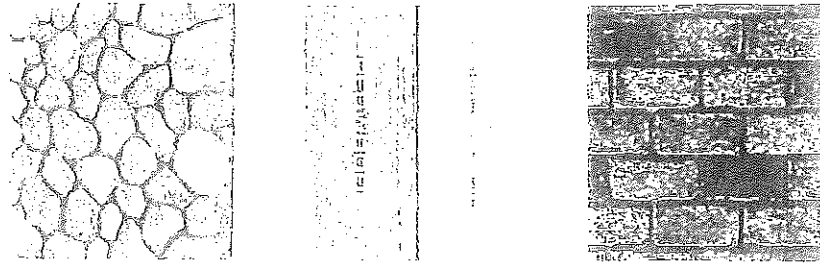
Entrances

- Architectural and streetscape clues should be provided to alert people as to locations of entrances (and their relative importance). Examples include canopies (extent up to 2.5 metres out over sidewalk), columns, protruding bays, special materials, lighting, planting, signs. Entry features shall not block the flow of pedestrian traffic along sidewalks.
- Entrances to individual stores from the street are preferred over entrances off communal lobbies which limit the flow between the street and interior spaces.
- Sheltering structures are recommended at entrances for climate protection as well as orientation purposes. Benches near entrances allow people to sit while they wait.

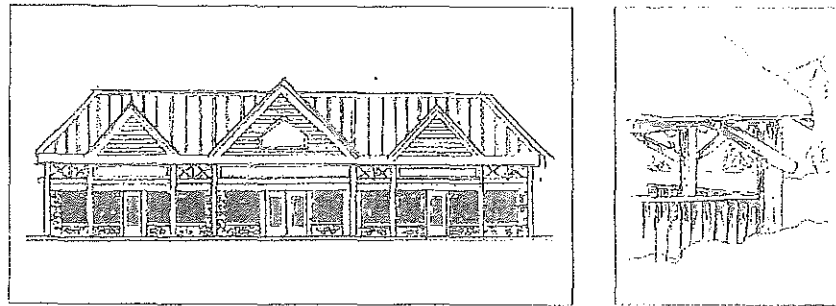


Materials

- Construction materials, for both buildings and streetscape features, should include as accents at least some rugged "earth" materials such as stone or wood. Other finishes to complement these anchoring materials (which are most important near foundations and entrances) can include brick, stucco, wood siding.

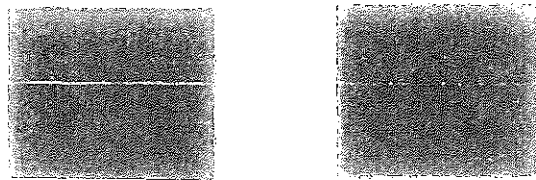


- Variation in texture and material is recommended to add interest to facades.



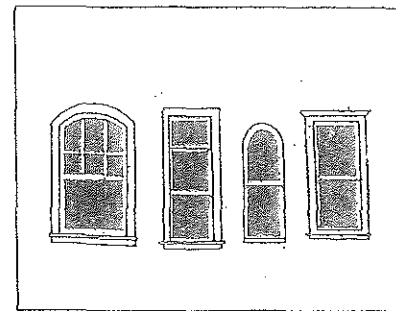
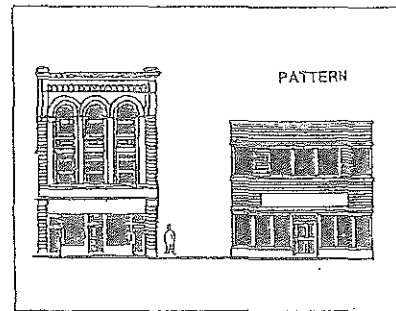
Colour

- The following families of colours are recommended for use in architecture and site furnishings. Again, variation on themes is preferred, so colours need not be matched exactly.



Detailing

- A balance should be achieved in detailing whereby it is neither overly ornate nor simple to the point of barren. Details should never appear arbitrary, but should reflect a function and an artistic style consistent with the building's architecture.
- Details should be consistent with traditional and tasteful village architecture, but can be expressed with contemporary variations.
- Ideal opportunities to incorporate detail include:
 - window frames, including soldier course caps, stone/brick sills, colour contrasts

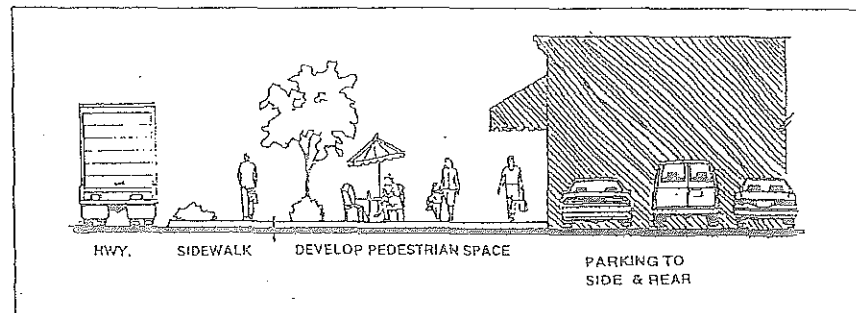


- small panes within large windows for at least some windows on a building (some picture windows are acceptable, but could be bay-style with the side panels detailed)
- shutters on windows (or beside them on facades)
- window box planters
- doors, including colour contrasts, feature materials, window detailing
- entrances, including canopies, columns, stairs and railings, mailboxes, integral benches, planters
- lighting (spotlights, bollard lights, overhead decorative lights)
- paving patterns (flagstone, brick pavers, concrete detailing)
- facade brickwork (e.g., diamond pattern from Hotel)
- rooflines (soffits and fascias, exposed structural beams)
- In general, detailing should be integral with the structure and proportionally scaled.
- Exposure of structural architectural elements is encouraged to give buildings a sense of solidity and integrity, as well as to add interest and detail.

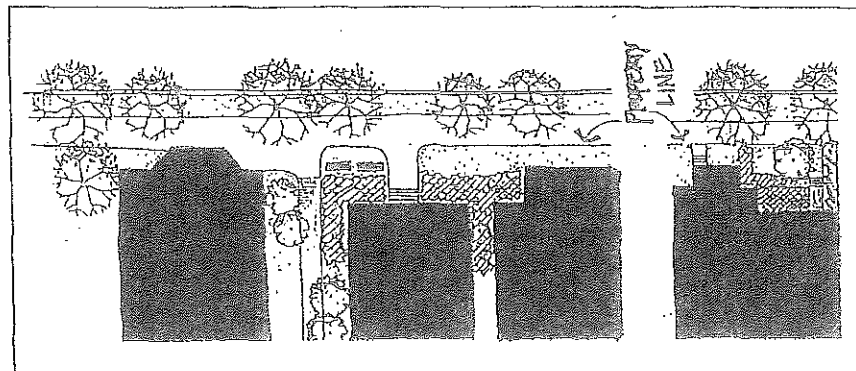
SITE PLANNING

Building Setbacks

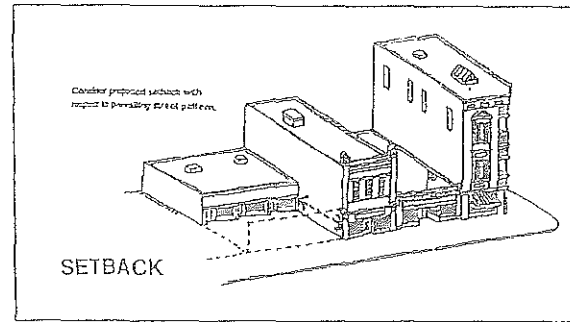
- On Esplanade Avenue, both front lot and side lot setbacks are discouraged, unless the space is used for an activity that contributes life to the street (such as a patio or plaza with seating). The width of the street is such that wide sidewalks and street tree plantings can be provided without requiring building setbacks from property lines. Wherever possible, building frontage along the street should be continuous at ground level, with narrow facades and frequent variation providing maximum interest for pedestrians. Surfacing in setbacks should be predominantly hard (pavers, etc.).



- On Lillooet Avenue and Cedar Avenue, setbacks of 2.0 to 4.0 metres are encouraged to allow room for street trees, benches and other site furnishings, and decorative lighting. This street can have a different character than Esplanade Avenue, with more loosely spaced buildings and more landscaping making for a slightly less urban feel. Surfacing in setbacks should be mostly soft materials (grass and/or plantings).

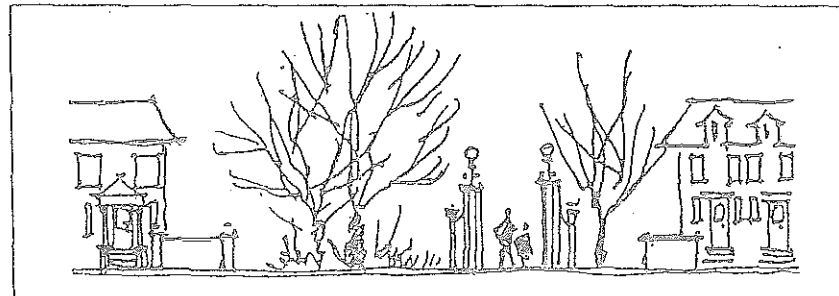


- Corner setbacks are recommended to create areas of at least 10 square metres that can be developed as plazas with seating and other pedestrian amenities.
- In general, new development should reflect existing setbacks.



Streetscape

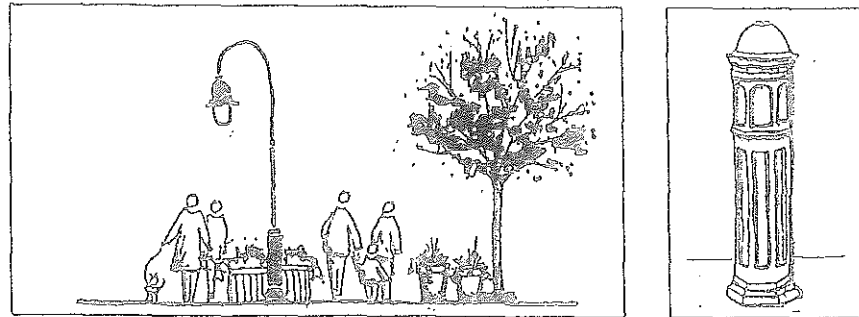
- Streetscape development should reinforce architecture and bridge gaps in buildings through continuity of treatment.
- High quality is critical in streetscape design and detailing. In general, a sturdy and rugged but classy look is desirable in site furnishings...a style in keeping with stone and wood building materials (possibly even incorporating these materials in streetscape items) and reflective of the massive scale of the surrounding mountains.



- Developers may incorporate items chosen by the village as "standard", or furnishings that are compatible with the style of the standard palette. Streetscape elements with potential as "standard" items include the following:

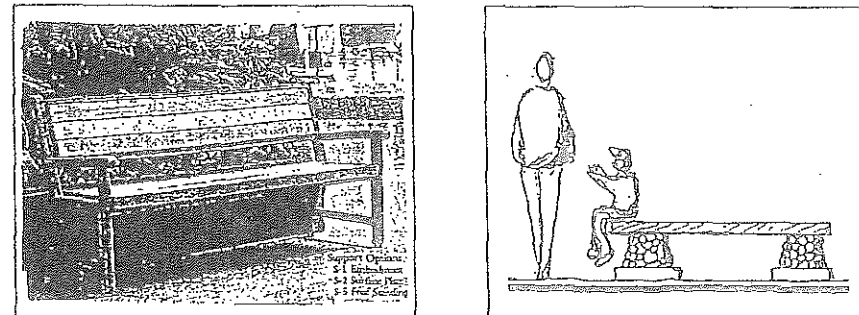
- *Lighting*

- overhead decorative lights - gooseneck fixtures from Hotel (Lumec Candela 5, colour 'Forest Green') throughout village centre streetscapes
- bollard lights - compatible with overhead decorative lights; black or green metal accents on sturdy bollards



- *Benches*

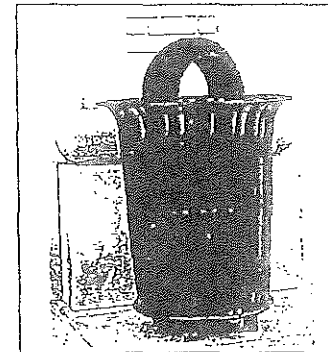
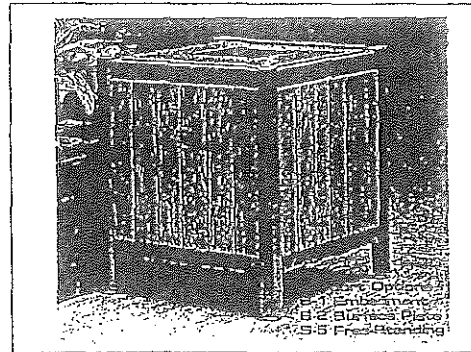
- wood (colour to match covered walkway in Hotel courtyard) with metal frame painted green; rugged style rather than highly ornamental; for use throughout the village centre



- along Esplanade Avenue and the promenade, special benches could be constructed using wood slats on stone bases; these could be funded through donations (Adopt-a-bench, memorials, sponsoring by service clubs, etc.) to result in a strong, consistent look for the whole waterfront in the long term
- existing yellow benches could be painted green and have plaques mounted to recognize donors

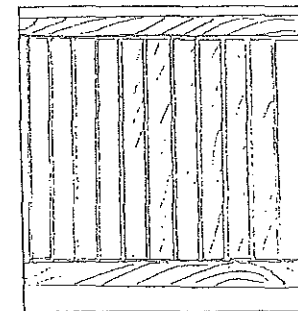
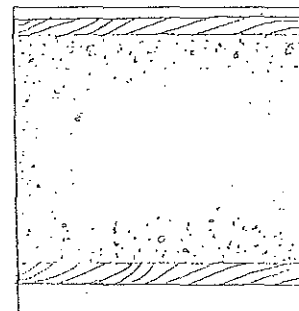
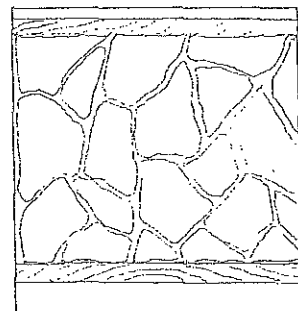
• *Garbage Cans*

- companion model to benches; square shape with wood in metal frame
- in focal areas, round all-metal cans (green or black) could set a more refined tone



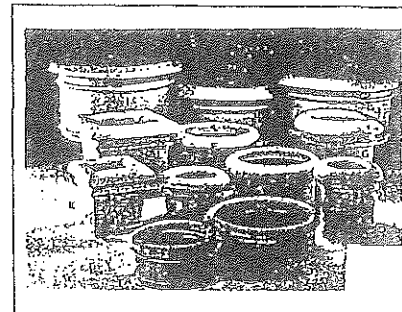
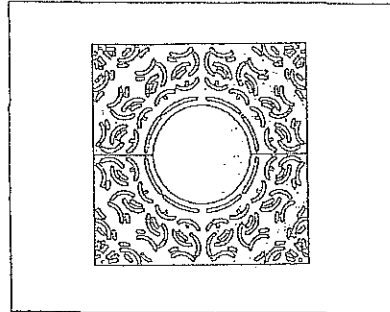
• *Paving*

- while concrete is acceptable as a basic material throughout the village centre, it is strongly recommended that details be incorporated with it, such as bands or sections of concrete unit pavers, flagstone accents, texturing and/or coloured concrete
- along the lakeshore promenade, natural surfaces are encouraged; in the long term, area-specific treatments could be:
 - section from the Hotel to Spruce Street: stone pavers replacing asphalt over time
 - section from the Hotel to Hot Spring source: compacted granular fines
 - section from Spruce Street to the Marina: a rugged wooden boardwalk at least 2 metres wide



- *Tree Grates*

- where tree planting is incorporated into sidewalks or plazas, wells should be large (1x2 metres) and surfaced one of two ways:
 - with generously spaced flagstone pavers (ensure roughened non-slip surface)
 - with steel tree grates, coated with dark green plastisol; supplied by Wabash Valley (contact Rick Alsip @ 1-800-490-0501), who can assist with custom sizing and designing a standard grate for Harrison



- *Planters*

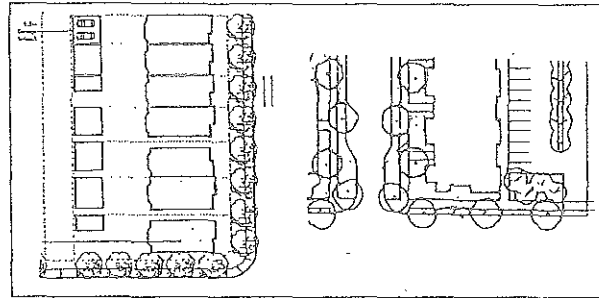
- natural materials are preferred
 - along Esplanade Avenue, free-standing clay pots or stone-faced planter walls
 - elsewhere in village centre, timber planters also acceptable

Landscape

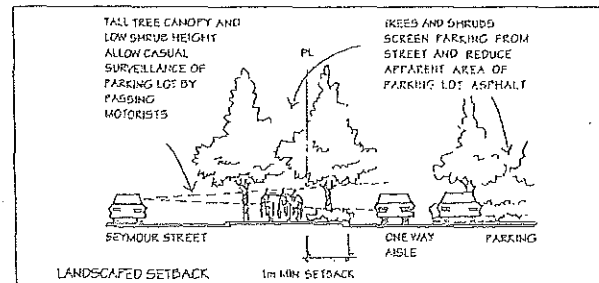
- The intent of these recommendations is to create a situation where the village appears to be fitting into the landscape as extended inward from the forested mountainsides. Once it is established, proposed landscaping should not seem like an afterthought, but rather like a part of the green fabric into which the village's buildings are integrated.
- Existing trees are to be preserved wherever possible (preservation plans may be required).
- Coniferous and broadleafed evergreens are encouraged as background or buffer plantings where they do not create safety hazards by interfering with visibility of public spaces.
- Flowering deciduous trees are encouraged where falling fruit is not a maintenance problem.
- A combination of fast-growing and slow-growing plants is recommended for each development to achieve both short-term and long-term effect.
- Pedestrian circulation routes should be generously dimensioned and desire lines should be respected to minimize wear and tear on areas not meant to be walked on. Shrubs and groundcovers (a mix of coniferous, broadleafed evergreen and deciduous shrubs) should be used as appropriate to define circulation routes and balance hard-surfaced areas.

Parking

- Whenever possible, off-street parking should be at the side or rear of buildings (internal to the block) rather than between the front of the buildings and the sidewalk. Vehicular access should be from secondary roads or rear lanes if practical, while frequent pedestrian access should be provided to sidewalks. It may be desirable to extend a short edge of parking lots to a sidewalk frontage for safety through improved visibility.
- Where parking lots abut sidewalks, a 1.5 metre buffer strip is required, including tree planting, shrubs (less than 1.0m in height to leave "window" for casual surveillance) and low wood or metal fencing in high-profile areas (Esplanade Avenue, especially near the Hotel).



- Access points to parking should be clearly identified with signage, lighting and breaks in landscaping. Provision should be made for pedestrians to walk around to the front of buildings on curbed sidewalks so they don't feel squeezed into the realm of the car.



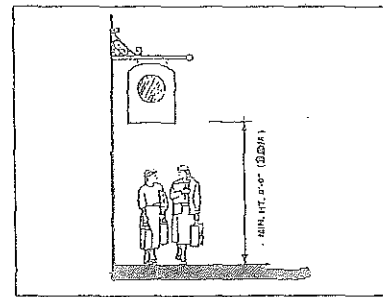
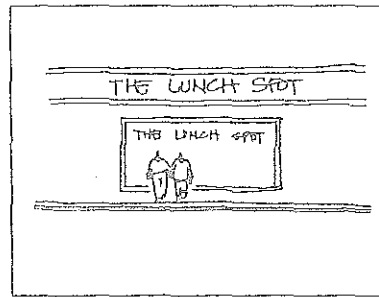
- On-street angle or parallel parking is acceptable provided that sidewalks are wide enough that pedestrians do not feel hemmed in by the parked cars (minimum sidewalk width 2 metres).
- Permanent parking lots shall be broken up by planting islands separated by 15 stalls or less. Tree species that don't drop fruit, seeds or branches shall be used in this situation.
- In general, design of parking access should minimize pedestrian / vehicle conflicts.

SIGNAGE

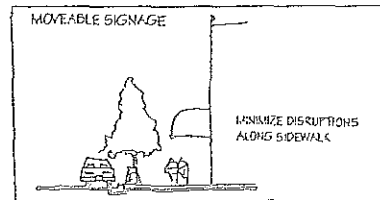
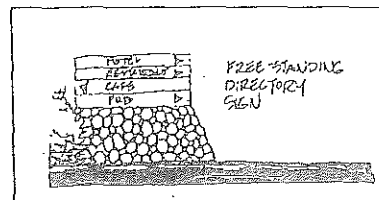
Note: Signage design must reflect Village of Harrison Hot Springs Signage Bylaw No. 479 for aspects not covered by these guidelines.

Size & Mounting Options

- The size of signs shall be in proportion with the building facade and scale of the streetscape.
 - *Pedestrian situations (Esplanade Avenue, Lillooet Avenue, Cedar Avenue)*
 - facade mounted signs should be located above ground floor windows or beside entrances at eye level (maximum height to top of sign to be 4 metres)

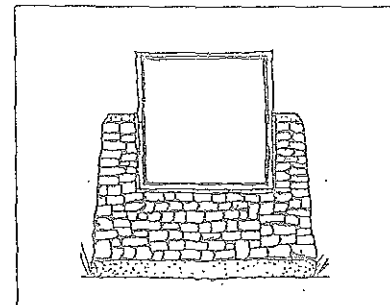
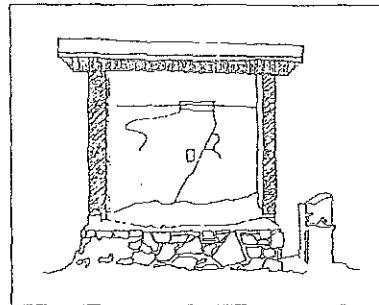


- signs hung perpendicular to facades at 2.5-3.0 metres clearance are encouraged (maximum size 40x150 cm); mounting arms can be metal (green or black) or wood to match facade and sign style
- awnings can serve as both signage and shelter, and are encouraged
- high quality sandwich boards are permitted, provided they don't block sidewalks
- *Vehicular situations (Hot Springs Road)*
 - Signs may be larger (up to 6.0 metres in height), but should be integrated with landscaping and/or buildings to avoid the dominating billboard effect.
 - Free-standing signs are permitted provided that they relate to the context and contribute to the overall streetscape.
 - Sturdy bases are preferred with associated landscaping (area > area of sign face).



Materials

- Natural materials should be incorporated in signs and supporting structures. The following themes or approaches are encouraged:
 - wood backgrounds (colour matching the covered walkway at the Hotel) with painted or carved / woodburned lettering
 - sturdy wood posts, rough cut to suggest the forested natural setting
 - natural stone bases / backgrounds / framing walls (building on existing examples)



- brick bases can be used to reflect the style of the posts at the Hotel entrance
- copper or metal accents can be used, again reflecting the Hotel's entrance
- trees and shrubs to reflect lush setting and add accent colour
- neon should be used sparingly and only where compatible with the use (e.g., bars, restaurants...)

Graphics / Style

- Quality is again the objective, with letters, logos and graphics being clean, clear and professional-looking. The intent is not to prevent individual artistic expression (variety is critical), but to avoid gaudy, amateurish signs that look more temporary than permanent.
- Letter style can imitate the Hotel's font, or can be another classic, fairly simple style. Complex or flowery scripts that are difficult to read should be avoided.
- Culturally specialized businesses (e.g., ethnic restaurants) are encouraged to reflect their traditional style in their signage.

*3.2 DEVELOPMENT PERMIT AREA 2
MULTI-FAMILY RESIDENTIAL*

3.2.1 Design Principles

- ❖ Architecture responsive to the small-scale residential context, and integrated with the site.
- ❖ Site planning based on strengthening a sense of neighbourhood.
- ❖ Emphasis of the natural scenic setting, particularly near the creek.
- ❖ Variation on themes to result in a balance between continuity and a healthy diversity, both within a multi-family development and throughout the village.
- ❖ Sensitivity to the pedestrian experience.

3.2.2 Design Guidelines

ARCHITECTURE

Building Height

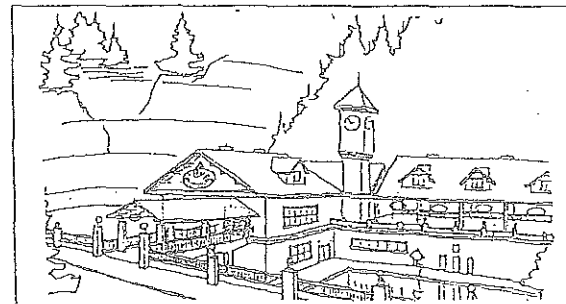
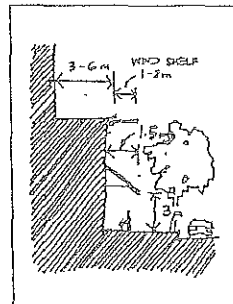
- A 4 storey maximum height is recommended, varied or stepped back to prevent blockiness.

Building Form and Massing

- Buildings should be modulated, vertically and horizontally, to suggest interior units and uses.

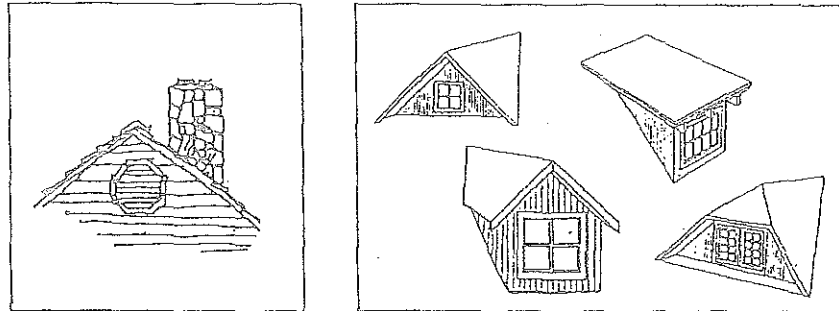


- Whenever possible, access should be from the ground rather than through internal hallways.
- Stepped back forms, especially incorporating interesting intermediate roofs and/or balconies, are encouraged.
- Architectural variation to lend individuality to sub-components of connected blocks is essential, and can be achieved through differences in colour, window style and framing, gable detailing, roof style, etc.



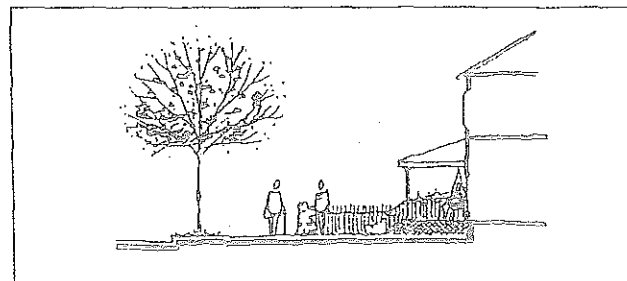
Rooflines

- Peaked roofs are preferred over flat roofs, but a combination of the two is acceptable.
- Dormers, turrets (especially in a nautical or agricultural style), bay windows, and similar details are strongly encouraged to contribute to a sense of "home" for residents and to add architectural interest.



Orientation & Relationship to Streetscape

- No side of the building should present a blank face to visible neighbours. On the other hand, side lot facades should be designed to prevent unwelcome visual intrusion to existing buildings.
- The ground floor of the multi-family residences should relate very strongly to its street frontage. It is partly for this reason that individual access to the units is preferred, because then each household has some semi-private space that contributes to the life of the street. It also makes people feel that they have an "address" of their own rather than just an apartment number, and the space around the buildings is less likely to feel like an abandoned no-man's-land.
- Porch railings and low fences as described below are useful for defining territory while not barring visual interaction between residents and passers-by.



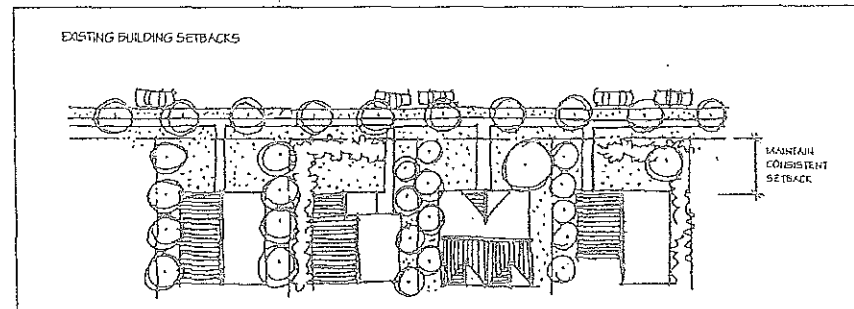
Entrances

- Whether entrances are to a lobby or to individual units, they should be marked by architectural accents, lighting, signage and/or landscape cues.
- Addresses should be very clearly visible to vehicular and pedestrian traffic.

SITE PLANNING

Building Setbacks

- Front-lot setbacks should be sufficient to provide semi-private garden space for ground-floor residents but not far enough that the street feels unrelated to the building (4-6 metres is recommended).



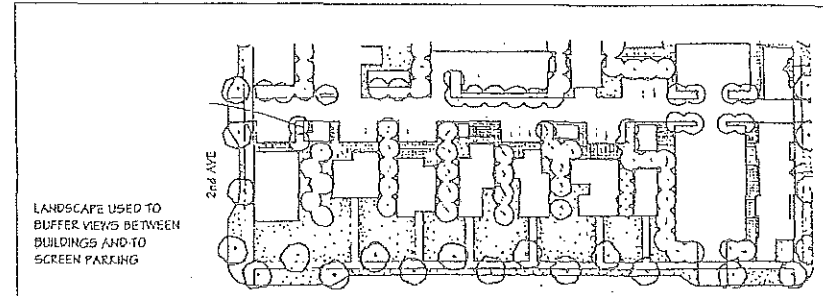
- Side lot setbacks should be sufficient for semi-private garden space and /or planted buffer zones as appropriate. If possible, the multi-family building configuration should be compatible enough to integrate at its edges with neighbouring homes.

Streetscape

- A green character, even less urban than that of Lillooet Avenue, is desirable for frontages of multi-family residences. Streetscaping should include:
 - Generous landscaping (minimum 70% soft surface within setback area)
 - Pedestrian-supportive amenities such as sheltering canopies at entrances, benches, shade trees, lighting (bollard and overhead), signage (if appropriate)
 - Fencing along gardens within the front lot setback is acceptable - wood or metal structures less than 1.2 metres in height, with appropriate detailing, are encouraged.

Parking

- Garages, whether individual or communal, should be accessed from rear lanes or infrequent driveways between blocks of units leading to parking in rear - it is critical that building fronts are not dominated by parking surfaces or structures.

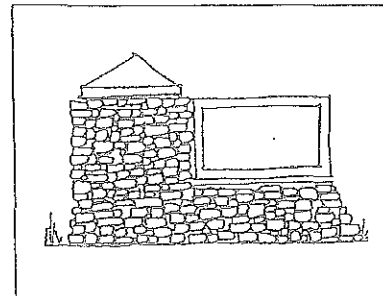


- Visitor parking should be laid out in small clusters and broken up by landscaping, or should be accommodated on-street.

SIGNAGE

Note: Signage design must reflect Village of Harrison Hot Springs Signage Bylaw No. 479 for aspects not covered by these guidelines.

- Signs should clearly orient visitors and reinforce residents' sense of belonging and "address".
- Scale, style, and materials should be appropriate to a "home" and should not appear slick, corporate or anonymous...they should reflect the character of the development.
- Quality is critical once again...no shoddy workmanship.



*3.3 DEVELOPMENT PERMIT AREA 3
COMMERCIAL*

3.3.1 Design Principles

- ❖ Architecture responsive to the low density mixed-use context, and integrated (where appropriate) with neighbouring buildings and sites.
- ❖ Site planning based on strengthening the entry corridor through better defined edges oriented to the street.
- ❖ Respect for the natural setting along much of the west side of Hot Springs Road (i.e., not particularly urban)
- ❖ Variation on themes to result in a balance between continuity and a healthy diversity, both along Hot Springs Road with its mix of commercial and residential uses, and throughout the village.
- ❖ Sensitivity to pedestrian experience, which is currently not well supported along Hot Springs Road.

3.3.2 Design Guidelines

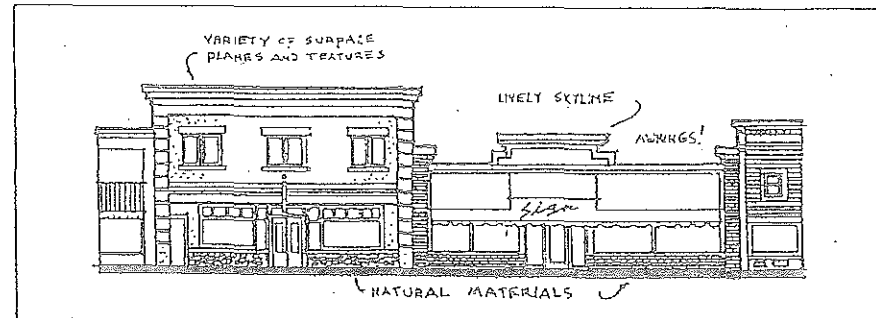
ARCHITECTURE

Building Height

- In keeping with the context, 1 or 2 storey buildings should be the general rule.

Building Form and Massing

- Strip-mall style development should not be accepted. Any adjoined commercial buildings must be differentiated from each other through a combination of architectural style, materials and detailing, variations in height and setback dimensions, colour, signage, etc.



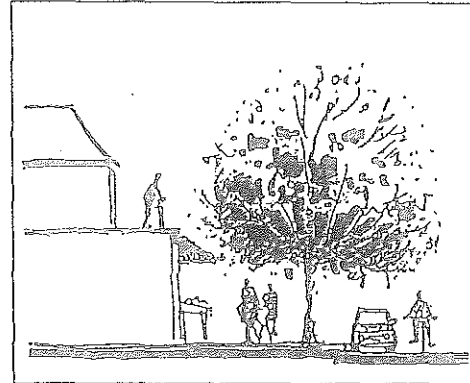
- Individual buildings in a style appropriate to Harrison Hot Springs are acceptable, but should be integrated with neighbouring properties through landscaping, shared parking, etc.
- Buildings can be oriented perpendicular to Hot Springs Road as long as access is provided to the narrow end from the sidewalk, and that the streetfront facade is detailed to a high standard consistent with neighbouring front facades.

Rooflines

- Peaked roofs are preferable - flat roofs are very typical of strip malls and should be avoided.
- False facades above the height of a building, to suggest upper floor uses, screen mechanical equipment and add architectural interest, may be acceptable as long as they do not appear flimsy.

Orientation & Relationship to Streetscape

- Buildings will naturally be oriented to primarily address the street. If rear facades of commercial buildings are visible from residential areas, they must be sufficiently detailed and interesting to prevent a neglected, "back turned" impression.



- Ground floor commercial uses should be transparent to the sidewalks, contributing life to them and drawing life from the activity along the street.

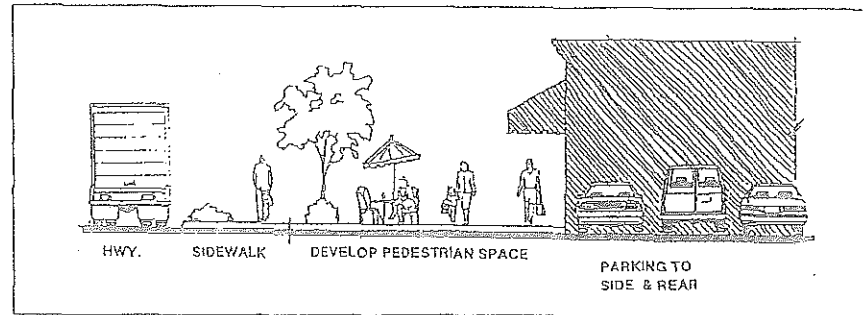
Entrances

- Whether entrances are to a lobby or to individual commercial units, they should be marked by architectural accents, lighting, signage and/or landscape cues.
- Addresses should be very clearly visible to vehicular and pedestrian traffic.

SITE PLANNING

Building Setbacks

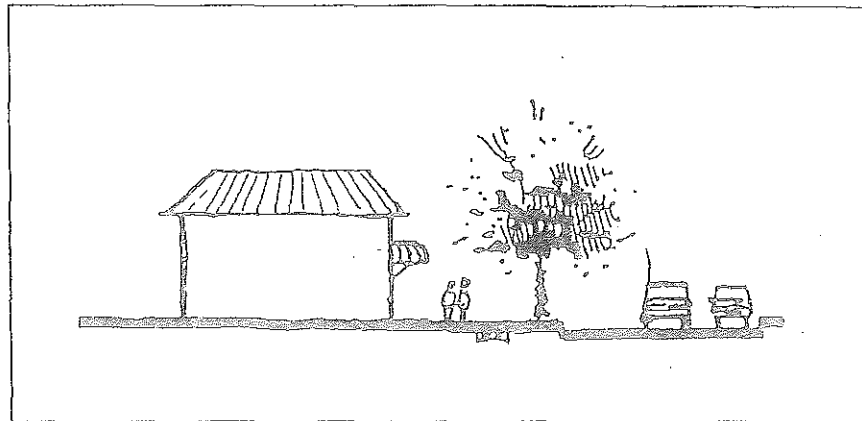
- Setbacks should range as follows:
 - minimum 2 metres (enough room for street tree planting in a curb-side boulevard)
 - maximum 4 metres (beyond which people on the sidewalk or in passing cars lose touch with activity in the buildings); in this case, interest needs to be added within the setback through a combination of planting, furnishings, varied paving treatments...



- Setbacks may not be used for head-in parking in front of commercial units.

Streetscape

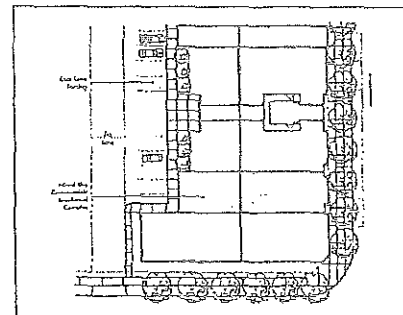
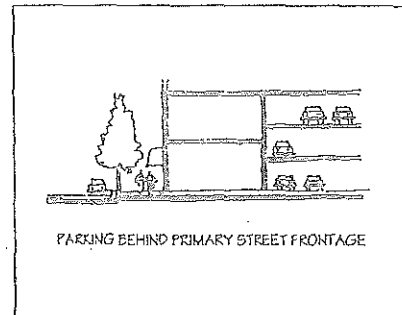
- The streetscape needs to be developed to a point where pedestrians feel safe, supported and comfortable, but does not need to be as detailed as the village centre streetscapes. Development should include the following:
 - Street trees in 1.5 metre wide boulevards surfaced with a combination of grass, groundcovers and accent paving where required (eg. stone or concrete unit pavers)



- Overhead pedestrian light standards consistent with style and colour of village centre fixtures
- Benches (preferably standard model) clustered at appropriate storefronts within setbacks

Parking

- Off-street parking should be provided beside (between) or in the rear of commercial buildings if parallel on-street parking is insufficient.
- Service/delivery access and garbage dumpsters should be in the back of buildings.
- Access points to parking should be clearly identified with signage, lighting and breaks in landscaping. Driveways to parking in the rear should be shared between a number of properties. However, frequent provision should be made for pedestrians to walk around to the front of buildings on curbed sidewalks so they don't feel squeezed into the realm of the car.

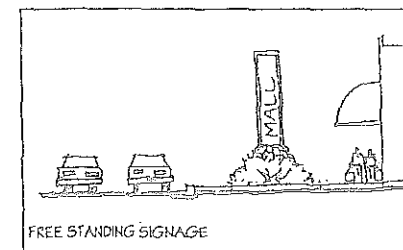
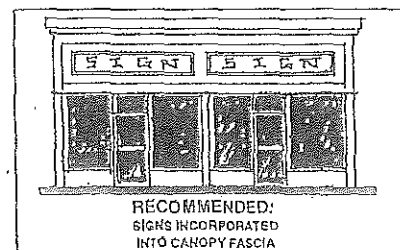


SIGNAGE

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Size & Mounting Options

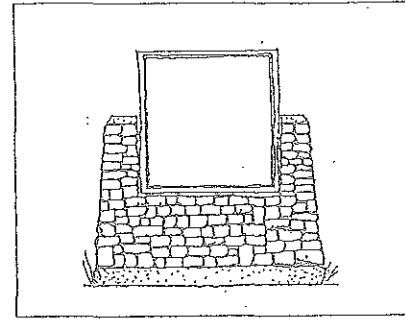
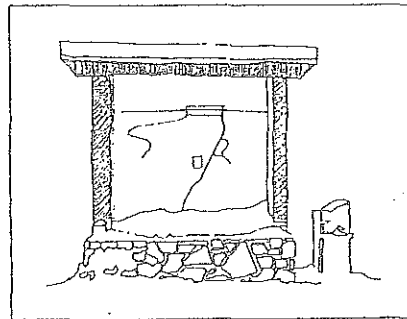
- As commercial enterprises along Hot Springs Road rely predominantly on attracting passing drivers, signs may be fairly large and prominent. Signage should still be in proportion with adjacent architecture, and physical with building facades is encouraged.



- Free-standing signs of up to 6.0m in height are permitted provided that they relate to the context and contribute to the overall streetscape.
- Sturdy bases are preferred, and should be complemented by landscaping covering an area at least equal to the face area of the sign.

Materials

- Natural materials should be incorporated in signs and supporting structures. The following themes or approaches are encouraged:
 - wood backgrounds (colour matching the covered walkway at the Hotel) with painted or carved / woodburned lettering
 - sturdy wood posts, rough cut to suggest the forested natural setting
 - natural stone bases / backgrounds / framing walls (building on existing examples)



- brick bases can be used to reflect the style of the posts at the Hotel entrance
- copper or metal accents can be used, again reflecting the Hotel's entrance
- trees and shrubs to reflect lush setting and add accent colour
- neon should be used sparingly and only where compatible with the use (e.g., bars, restaurants...)

Graphics / Style

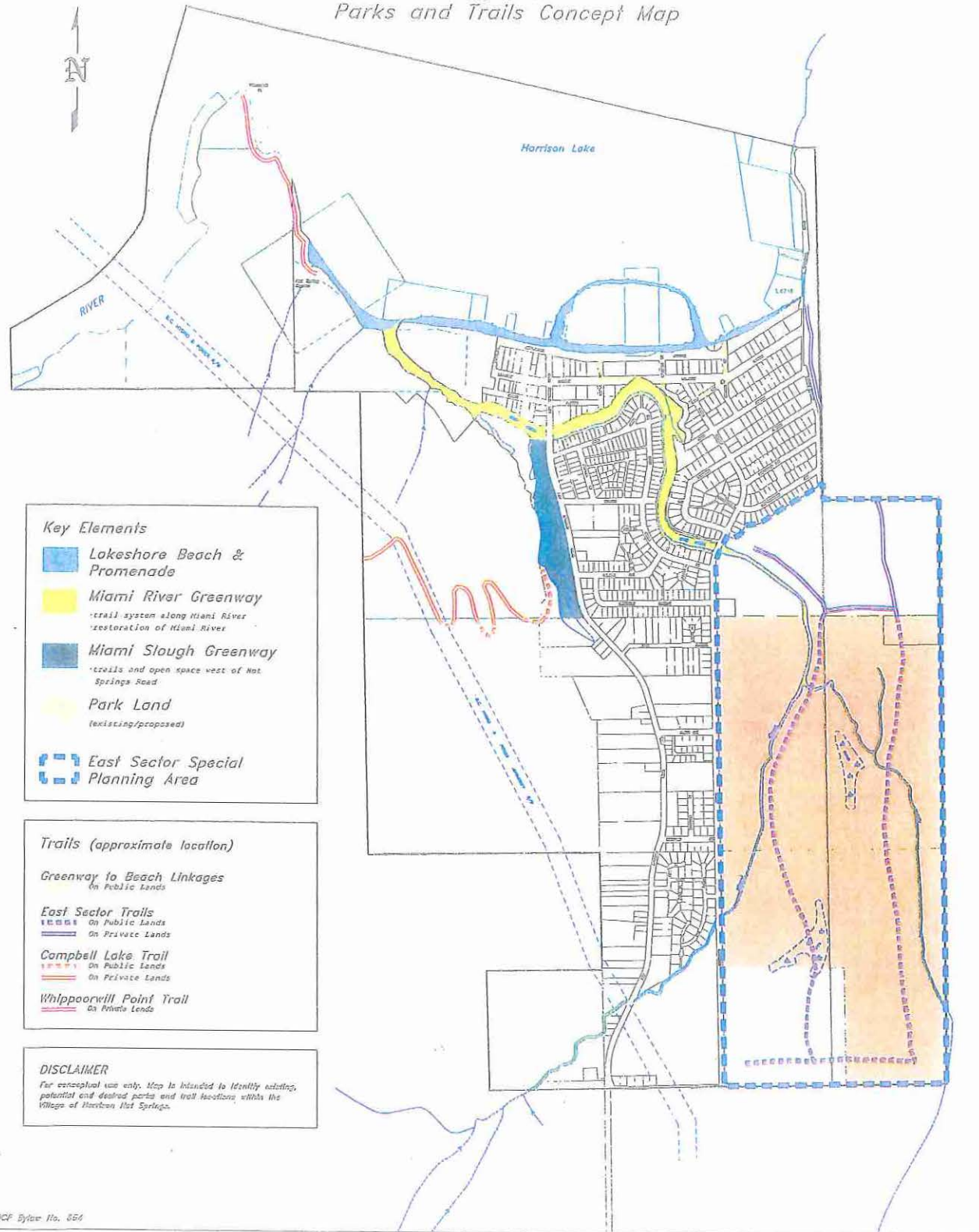
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March 13, 2007 - OCP

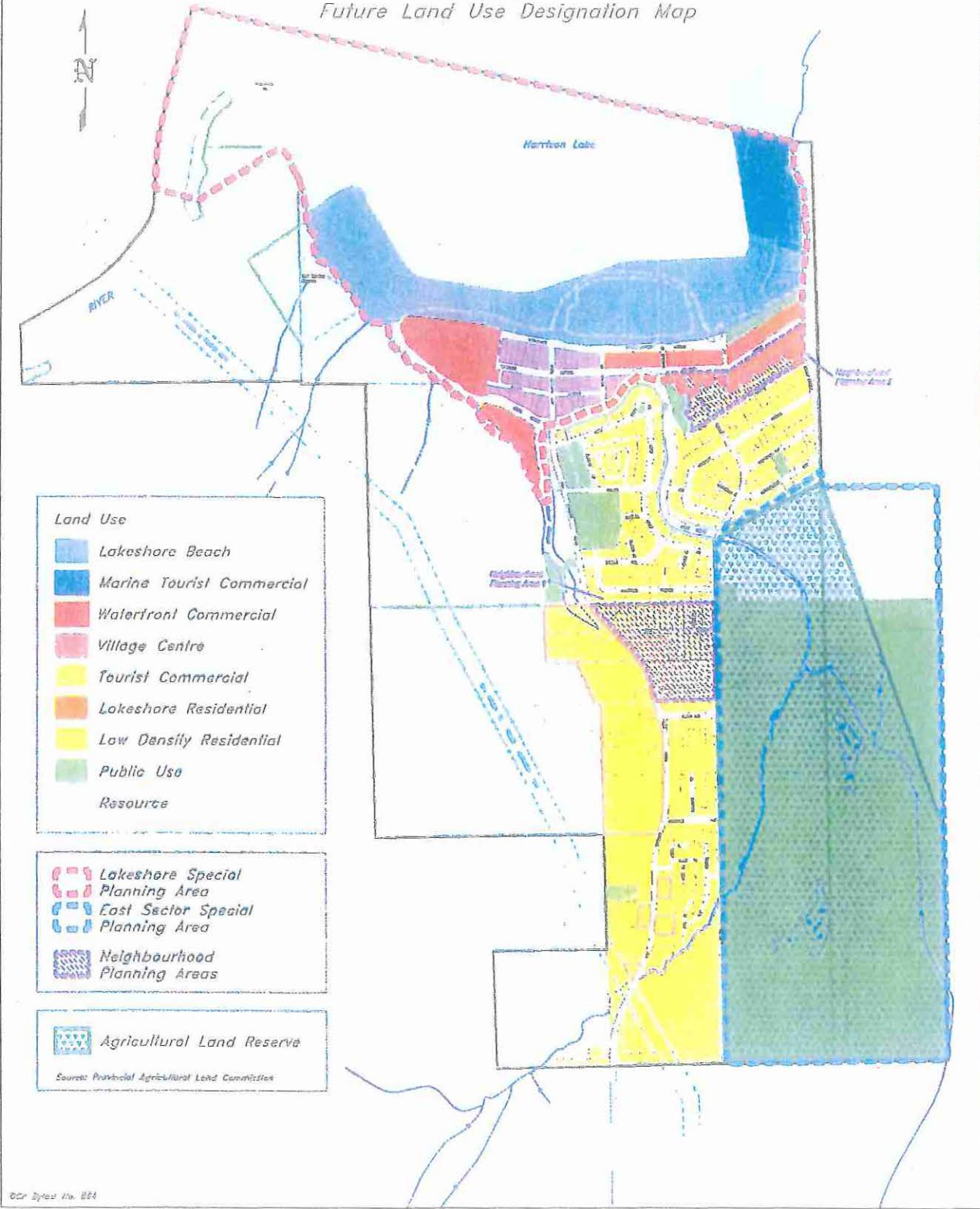


Village of Harrison Hot Springs Official Community Plan

Figure 5 Parks and Trails Concept Map



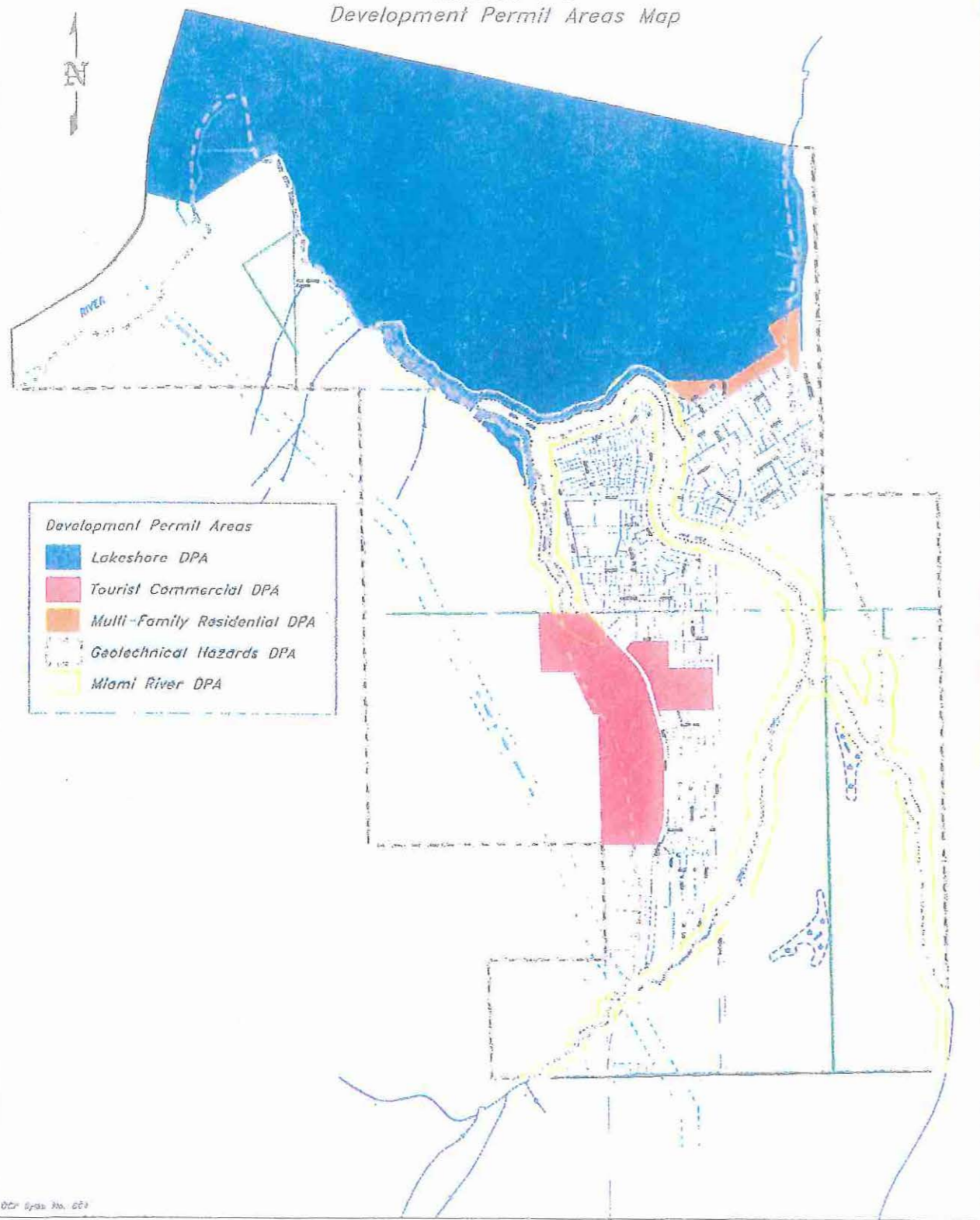
Village of Harrison Hot Springs
Official Community Plan
Schedule 1-B
Future Land Use Designation Map



Dec. 18, 2005

Village of Harrison Hot Springs
Official Community Plan

Schedule 1-C
Development Permit Areas Map



Neighbourhood Planning Area 1 – Pine Avenue

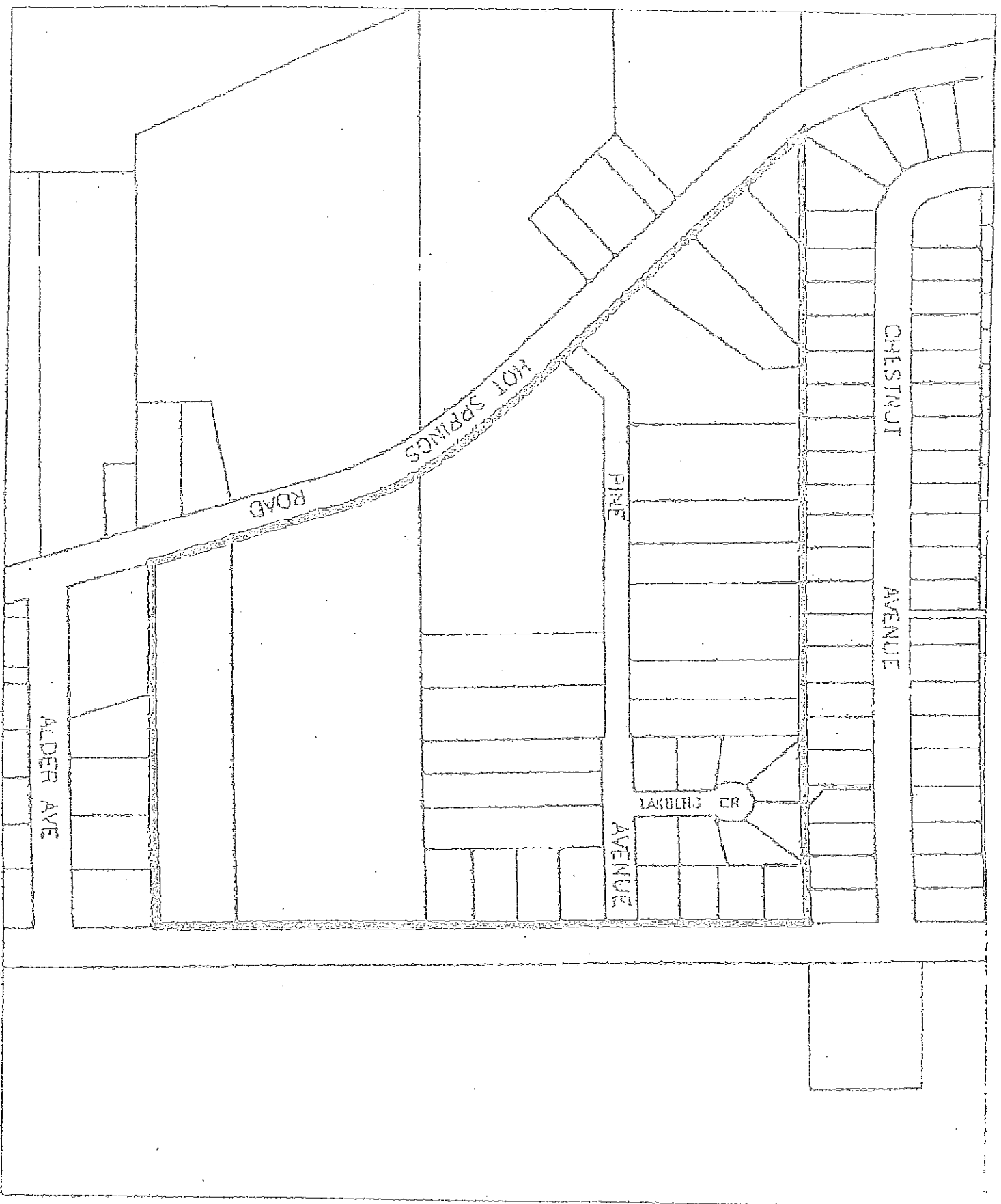
It appears that the current Neighbourhood Plan was planned with the idea that there will be an assembly of existing lots to facilitate the neighbourhood vision. However, in practice the assembly of parcels of land is proving to be difficult. The Plan outlines land use, density, building design, landscaping, transportation, access, park, trail, as well as environmental guidelines.

Main Neighbourhood Plan Principles:

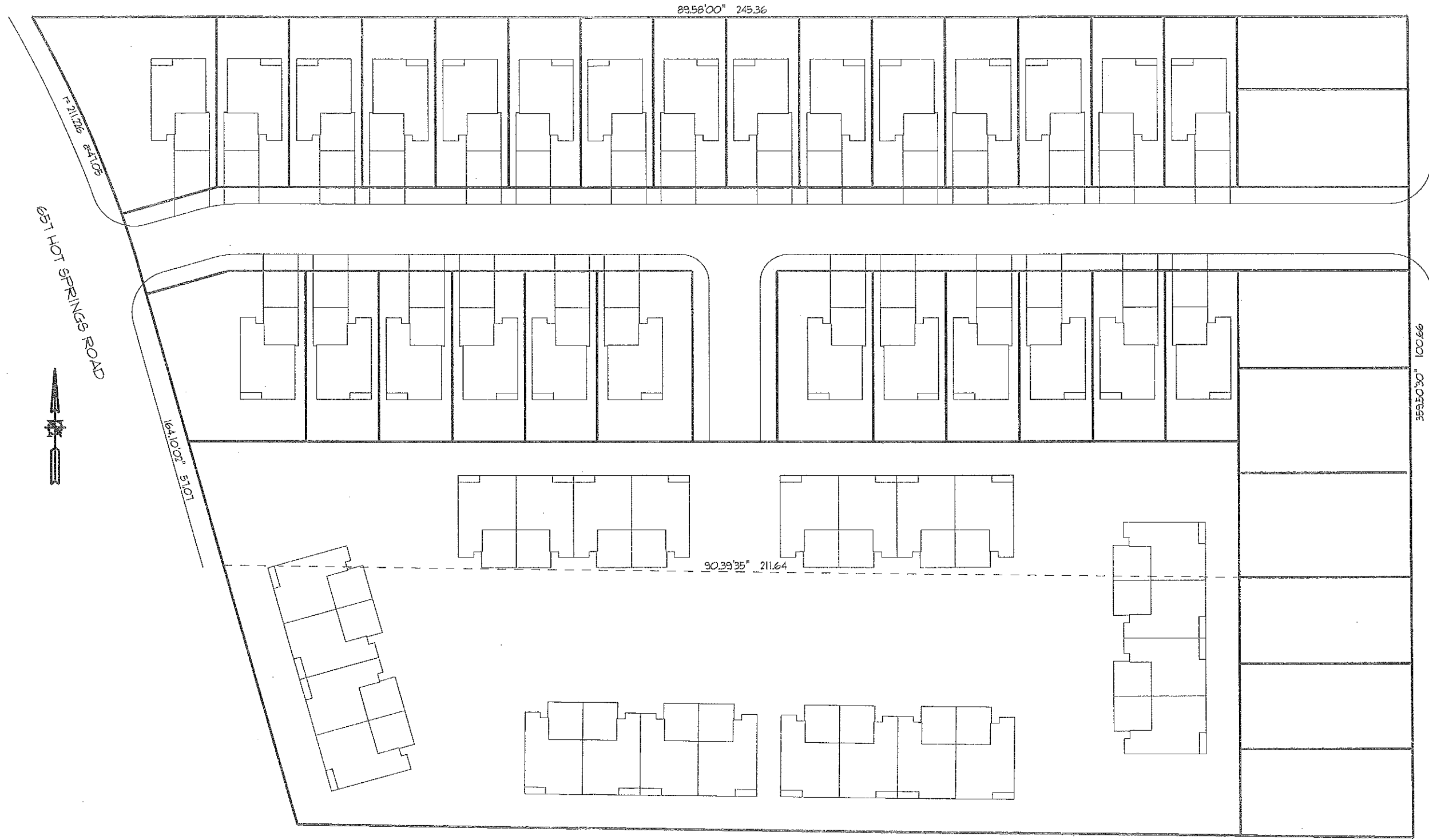
- Mixed Housings
 1. The Plan calls for a mix of single family and multi-family residential housing forms within the Plan.
 2. The building design within the Plan calls for small lot single family developments (400 sq. m. or 4306 sq. ft. lot) along Hot Springs Road.
 3. The building design within the Plan calls for conventional residential lot (697 sq. m. or 7500 sq. ft) along McCoombs.
 4. The Plan calls for buffers along the interface with the surrounding neighbourhoods.
 5. The Plan call for a pleasant landscape along the Hot Springs Road gateway.
- Transportation and Mobility
 1. The Plan calls for no new road connections to the north or south of the neighbourhood but does call for trail/pedestrian linkages for residents.
 2. In the Plan, Pine Avenue functions as the primary east – west road within the neighbourhood.
- Park Space
 1. The Plan calls for an equivalent of 5% of the developable area of the neighbourhood (or 0.2 ha or 0.5 acre) to be used for the purposes of a neighbourhood park.
- Infrastructure
 1. The Plan calls for adequate services to the new development prior to rezoning of lands, including the development of a comprehensive storm water management plan.
- Environment
 1. The Plan calls for the retention of mature trees and encourages smaller building footprint.

March 13, 2007 - 00

Figure 1: Neighbourhood Planning Areas



Neighbourhood Planning Area 1



651 HOT SPRINGS ROAD



McCOOMES DRIVE

